

**Application Reference: 20/01118/OUT**

Land Adjacent To 37A Church Street, Appleby Magna

Erection of one detached dwelling and associated garage (outline - details of access included)

**Local Character Assessment**

This outline planning application is for the erection of one dwelling with a garage. The only matter for consideration at this stage is access. Whilst the scale and appearance of the proposed property would be determined at Reserved Matters stage the following information has been provided to give an indication of what scale could be reasonable in this location given the character of neighbouring development.

The application site location is indicated in yellow below:



The Conservation area boundary is shown in blue in the image to the left.

### **Didcott Way**

Didcott Way is located directly to the east of the application site and is separated from the proposed development by a brook and a boundary of mature trees. The closest properties on Didcott Way are all large, two storey detached dwellings. There is an average footprint of at least 100 square metres taken from these neighbouring properties.

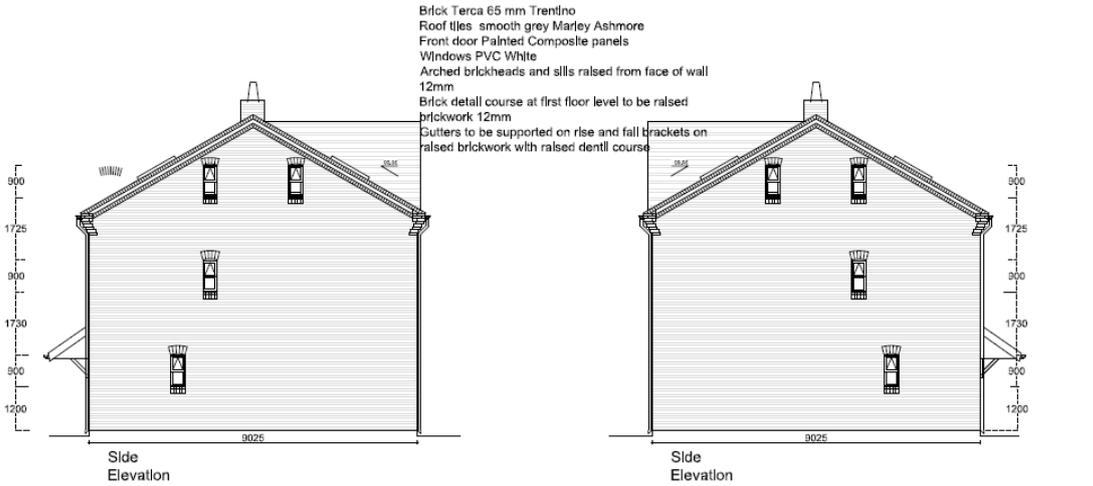


### **Church Street**

There are a range of property types and sizes in Church Street. The immediately adjacent neighbouring dwellings primarily consists of two and three storey terraces that vary in age, character and design. The average footprint of the neighbouring terraced dwellings is approximately 50 square metres. Whilst some of the plots sizes might be modest, compared to the application site, several properties are fairly tall due to their traditionally high pitched roofs.







Brick Terca 65 mm Trentino  
 Roof tiles smooth grey Marley Ashmore  
 Front door Painted Composite panels  
 Windows PVC White  
 Arched brickheads and sills raised from face of wall 12mm  
 Brick detail course at first floor level to be raised brickwork 12mm  
 Gutters to be supported on rise and fall brackets on raised brickwork with raised dentil course

Drawing number 15/298/33a

Rev	Date	Description
A	29/06/2015	Revisions added to match garage alterations and to add requirements for drainage added to elevations



Proposed front elevation



Proposed side elevation

Brick Terca 65 mm Trentino  
 Roof tiles smooth grey Marley Ashmore  
 Timber cladding Horizontal cedar cladding over cavity blockwork walls.  
 Render panels Cream monocoche render system over cavity blockwork walls.  
 Front door Engineered oak  
 Windows PVC coloured heritage sage green



Proposed rear elevation



Proposed side elevation

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**Date** 29/06/2015 **Scale** 1:200  
**Drawn** IS **Checked**  
**Drawing number** 15/298/33a  
**Drawing title** Proposed Plot 4 Elevations

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It is also possible to see one of these dwellings (now known as Hollybrook House) from the public highway when looking towards the application site and also in the same view as No.37a Church Street.



Hollybrook House was approved with a ridge height of 8.7 metres, a frontage width of 13 metres and a footprint of 180 square metres. No.37a has a width of 12 metres and a footprint of approximately 200 square metres. As such both of these dwellings are large in scale.

### **Conclusion**

Whilst it is noted that there are some smaller properties in the locality it is considered that this application proposal is read in the same visual context as No's 37a Church Street and Hollybrook House, due to these properties all having a set back location from the public highway.

Given the large scale of the 2015 recently approved dwellings, and the generous size of the existing dwelling, it is considered that it would be unreasonable for the Local Planning Authority to restrict the scale of a reserved matters application to anything smaller than 37A Church Street or Hollybrook House.

If committee are minded to approve this application then Officers advise that a note to applicant is attached to identify an acceptable scale that would be expected at reserved matters, in accordance with this character assessment.